Project Name: Pier B South Replacement

Project: 11283 Task 02

ADDENDUM No. 2

To: Prospective Bidders Date:	9/3/2025
-------------------------------	----------

This Addendum contains the following information and becomes a part of the Bid Package.

Item	Description
1	Clarifications to drawings and specifications
2	Responses to bid RFIs
3	Updated Schedule of Prices (Base Bid only)
4	Appendix E Supplement
5	MA-04, Pier & Relieving Platform Substructure Plans Areas 2 & 3 - Revision E

Please indicate your receipt of this addendum by adding the addendum number in the appropriate place in your Requisition & Proposal or Specification Book.

Project Manager:	
Matthew Thomas	9/3/2025
Matt Thomas, P.E.	Date
Facilities Engineer	



Project Name Pier B South Replacement

Location Mobile, AL

Project # 11283 Task # 02 September 3, 2025 1 | Page

Addendum No. 02

Reference Drawings

- 1. MA-01, Pier & Relieving Platform Index Plan, Proposed Sequencing Plan "Notes": Add Item C as follows
 - C. After piling installations (augercast and precast) and prior to installing pier caps, beams, and deck; the Contractor shall provide an as-built survey for the full length of the top of the existing steel sheet pile wall/cap to adjust for potential deflections that may have occurred during pile installation.
- 2. GA-04, General Notes and Abbreviations, I. Select Fill, note 1: Revise as follows Change technical specification from 02 30 00 Excavation and Fill to 31 23 33 Excavation Backfill and Compaction.
- 3. SD-01, Standard Details Precast Pile Details, Precast Concrete Piles, Note 1: Revise as follows Change technical specification from 03 31 30 to 03 30 00.
- 4. SD-01, Standard Details Precast Pile Details, Precast Concrete Piles, Note 5: Revise as follows Change technical specification from 03 40 00 to 31 62 13.
- 5. MA-04, Refer to Revision E on attached drawing.
- 6. MA-03, Revise existing Bent 1 sheet pile note as follows
 - Note: After demolition of existing pier, limit construction surcharge loads behind existing return sheet pile wall to max 100 psf until Bent 0.5 is installed and pier is complete.
- 7. MA-06/MA-07, Pier & Relieving Platform Deck Plans: Revise relieving platform "EJ" designation to Construction Joint "CJ" designation.
- 8. GA-04, Section D, Adjacent Building Monitoring: Add the following to Note 1 –

Settlement Surveying and Monitoring:

- Specify number and locations of monitoring points for each structure in monitoring plan for review and approval. Survey and monitor the settlement of structures, providing +/-0.005 foot accuracy, recording elevations to 0.001 foot:
 - 1. before beginning construction
 - 2. daily, during the driving of any casings, piling, or sheeting,
 - 3. daily, during compaction
 - 4. daily, during foundation drilling
 - 5. weekly, for two weeks after stopping pile driving
 - 6. during excavation
 - 7. during blasting
 - 8. or, as directed by the Engineer
- Upon either detecting movement of 0.010 feet or damage to the structure, immediately stop the construction operations affecting the structure. Notify the Engineer and submit a corrective action plan for acceptance by the Engineer.
- Submit settlement monitoring records to the Engineer on a weekly basis.

<u>Vibration Monitoring:</u>

- The contractor shall engage a third-party testing agency to provide a system which will continuously monitor and record ground vibration levels near the structures specified above during the operation of any equipment causing vibrations.
- Provide vibration monitoring equipment capable of detecting velocities of 0.01 inches per second or less.
- Specify number and locations of monitoring points for each structure in monitoring plan for review and approval per the testing agency's recommendations.
- Submit the vibration records to the Engineer within 24 hours of performing the monitoring activity.
- Upon either detecting vibration levels reaching 0.5 inches per second or damage to the structure, immediately stop the source of vibrations, notify the Engineer, and submit a corrective action plan for acceptance by the Engineer.
- 9. SD-01, Precast Pile Details, Precast Concrete Piles Notes: Add the following to Note 7 "Use minimum Two Point Pickup per ALDOT Bridge Special Project Drawing PSCP-1. For piles over 98ft, use 0.22 L2 and 0.56 L2."
- 10. DS-07, Demolition Pile Plans Areas 4 & 5: Revise existing Bent 1 for lower piles and lower-level cap to remain. Sloped cap and piles shall still be demolished.

Reference Specifications

1. Specification 22 00 00 "Plumbing, General Purpose", Remove Sections 3.5.2 and 3.7.

- 2. Specification 31 62 13 "Prestressed Concrete Piles", Remove Section 1.01B in its entirety.
- 3. Refer to Revised Schedule of Prices.
- 4. Appendix E Existing Drawings; added Pier B Riverend Fender Replacement drawings dated April 1993 for reference.

Response to RFIs

- 1. Can long span metal decking be used for support for cast in place dock slab?
 - Response: Yes, refer to drawing SD-13 for Stay-In-Place Forms at Contractor's option.
- 2. Please confirm whether shop drawings will be required for the planned modifications to the timber fender system. (As shown on Sheet MA-09AA)
 - Response: Yes.
- 3. (Regarding Pre-Construction Survey and Continuous Monitoring notes on Sheet GA-04 section D) Is this work required to be by a 3rd party? What type of continuous monitoring is required other than vibration? What reporting frequency is required? What is the scope of this work? What's the acceptable thresholds before getting shutdown? Who is responsible for the damages if the vibrations go beyond the threshold?
 - Response: Refer to GA-04D note 5 for 3rd party requirements. Refer to GA-04D note 7 for responsibility of damage. Refer to Reference Drawings, Item 8 (for all other questions).
- 4. Is there an engineering report for the existing pier condition?
 - Response: Refer to Sheet GA-04 Section A. General Notes, Note 12.
- 5. What is the loading capacity of the existing pier structure (lb./sf)?
 - Response: Refer to response 4.
- 6. What is the pile capacity of the existing pier pile?
 - Response: Refer to response 4.
- 7. Please confirm that the existing relieving platform is on grade.

Response: No, the existing relieving platform is pile supported.

8. (MA-03 Note EX1-bent 0.5) Note references "Wall is Permanently Braced". What is the proposed sequence of construction for this area?

Response: Refer to Reference Drawings, Item 6.

9. Will access to the site be allowed through the warehouse and on the north side of the warehouse?

Response: No, refer to contract documents for project limits.

10. If bid additive is accepted, will both static load tests be performed at the same time?

Response: Yes, both tests are required.

11. At bent 0.05, there is concern with driving new pile and displacing the existing return sheets. Since we will have auger-cast piles on site, would auger-cast pile be considered as an alternate for those locations?

Response: No.

12.

Do the existing timber pile that are to be removed contain creosote coatings?

Response: Consider that they are.

13. Can equipment be placed on the new relieving platform concrete if protected? What are the loading requirements for the new relieving platform?

Response: Yes, the new relieving platform is rated at 1500 psf.

14. (Regarding Sheet Ga-04 note G.2) What is "rail on grade" referring to for salvage? Is this only the demolished rail on land or from the dock also?

Response: Land only, this shall also include switches.

15. What is the rated capacity on Pier B North?

Response: Unknown, not within project limits. Refer to response 9.

16. How often does Pier B north get vessels?

Response: Access to Pier B North is only needed for timber fender modifications. This work will need to be coordinated with the ASPA as needed.

17. Are there any work restrictions on Pier B north?

Response: Yes, all work shall be provided within project limits. Refer to response 9.

18. Are there any areas in the port for onsite concrete crushing?

Response: No.

19. Can we send someone via boat to take pictures of the existing pier from the water?

Response: No.

20. With the existing fender system and outboard concrete cap in place, how will the contractor be able to get the required sonar survey completed under the pier prior to demolition?

Response: Partial demolition is allowed along the outboard side of pier to allow for sonar survey prior to the remaining demolition.

21. During the Prebid meeting it was mentioned that some spall repairs were beneath the existing relieving platform. Please confirm this is depicted by the negative Height dimensions in the Spall Repair Tables (Sheet S-03). Are all spall repairs to be completed after demolition of the existing relieving platform and before the installation of the new relieving platform, or can the above grade spall repairs be completed at any time during project duration?

Response: Correct. Spall repairs above the new relieving platform slab may be completed at the contractor's discretion.

22. Will additional time be added to the 730 Calander days for project completion if the Bid Additive is selected to be performed? If so, how much time?

Response: Yes, 6 months.

23. Please confirm the existing relieving platform top of concrete elevation at the warehouse is EL: +10.5 as shown in Sheet DS-08 instead of Appendix E Part 2 Sheet B-10-145-37 that shows EL: +11.67.

Response: Match existing concrete. Elevations are based on two different datums.

24. Please confirm that the existing timber pile will or will not have embedment in the new relieving platform at the 14" thick locations.

Response: Yes, 4" of embedment is required. Excavate a minimum of 6" down and beyond circumfrence of each timber pile. Slope as required. Refer to revised Schedule of Prices.

25. Base Bid Item #14 indicates a total quantity of 20 EA cone fenders. Drawing No MA-06 thru MA-07 indicates a count of 19 EA cone fenders. Does ASPA plan on having a replacement fender or is there a discrepancy in the bid quantity?

Response: There is a total quantity of 19 cone fenders. Refer to revised Schedule of Prices.

26. Base Bid Item #15 indicates a total quantity of 30 EA UMHW Fender Strips. Drawing No MA-07 and MA-21 indicates a length of 186' on 6' on center. Does ASPA plan on having a replacement fender strip or is there a discrepancy in the bid quantity?

Response: There is a total quantity of 28 UMHW strips. Refer to revised Schedule of Prices.

27. GA-04; Section F Geotechnical Investigation indicates during installation of production piles, one pile per bent shall employ PDA Monitoring during installation. SD-01; Item 12 Test Piles indicates for 8 test piles are required Shall be monitored using PDA. Please confirm if these 8 test pile satisfy the requirement for a PDA within the pile driving bent or will an additional PDA be required?

Response: No. Refer to Sheet SD-01 Precast Concrete Piles, Note 13.

28. Addendum 1, response number 2 indicates that the test pile program is intended to confirm capacities of the piles. SD-01 Precast Piles, Note 12D indicates that all test piles shall be performed and interpreted ... prior to start of fabricating production piles. Please clarify if Note 12D still applies if the intent of the test pile program is to only confirm capacities.

Response: Yes. Minimum tip elevations are required for all piles.

- 29. In between pile bent lines 37.8 and 38.5 there is an auger cast pile in the belly of the sheets. Please advise if this is intentional, or is it necessary to core through the existing pile cap and drill an auger cast pile.
 - Response: No. Refer to Reference Drawings, Item 5.
- 30. Reference 40-09 on pg. 15 of General Provisions (49/591), The Builder's Risk provision states that it is "to be determined per project". Please confirm that a Builder's Risk policy is required for this project.

 Response: Builder's Risk is required for this project. Division III SP-11 provides what
 - Response: Builder's Risk is required for this project. Division III SP-11 provides what insurance requirements may be deleted for this project.
- 31. Reference 80-12 on pg. 29 of General Provisions (63/591), Which indicates that contract phasing may be required. Are any contract phases that would require early completion of certain portions of the work required?

 *Response: No.
- 32. Reference General Provisions Art. 50-05, 70-08, 90-04 and Art. 10 of 01 00 00, which impose potential liability for interruptions to port operations and demurrage. Will the Port Authority provide a limit of liability for the contractor for such damages?

 *Response: No. Pier B South will be shut down for this work. This work shall be performed with minimal interruption to any surrounding operations.
- 33. Reference General Provisions Art. 50-05, 70-08, 90-04 and Art. 10 of 01 00 00, Which impose potential liability for interruptions to port operations and demurrage. Will the Port Authority publish schedules for vessel traffic at the project site and in surrounding areas? Response: On the ASPA website, the Harbormaster posts a report of the vessels present and the incoming vessels. ASPA can provide more up to date information from Operations as needed. Refer to Addendum 1 Reference Drawings, Item 3.
- 34. Reference General Provisions Art. 70-08. Will the Port Authority coordinate delivery of Owner-furnished materials to avoid undue disruption to port operations?

 Response: There will be no owner furnished materials. The intent of Division III SP-02 was that ASPA will provide a sales tax-exempt form so that the Contractor will not pay state sales tax on the purchased materials.
- 35. Reference General Provisions p.44, Art. 100-10 states that "claims will be considered by the OWNER in accordance with State laws or ordinances." Please clarify the applicable State laws or ordinances that govern claim consideration in Alabama.
 - Response: No. (ASPA will not furnish this. ASPA cannot provide legal advice.).

36. Drawings reference two spec sections that are not in the book, please provide. 0230-00, 03-31-30

Response: Refer to Reference Drawings, Items 3 and 4.

37. Are there any DBE requirements for this project?

Response: No.

38. Are there any Buy America requirements for this project?

Response: No.

39. The spec references Section 09 90 00 Paints and Coatings, but the section is not present in the spec. Is Section 09 90 00 applicable and available?

Response: No. Refer to Reference Specifications, Item 1.

40. The specifications are calling for a traditional ALDOT 70-20-10 mix while also calling out a 2000 coulombs max performance. Would you accept an optional mix design that meets or exceeds the project requirements? We would like to use a proven mix that has been used along the Gulf Coast for several years with plenty of historical data. Having the flexibility to use an optional mix design will help meet the production and schedule requirements.

Response: A mix that meets or exceeds the requirements of the contract documents is acceptable.

41. Can ASPA provide the manufacturer of the 480V receptacle that needs to be replaced per note "B" on page E-04. This same note says to replace the 480V conduit. Does the cable need to be replaced as well? If so, can ASP provide the size of the cable?

Response: The manufacturer of the receptable is Meltric, PN# 33-64243-C-K04-4X. Yes, the cable within the conduit shall be 4#2 AWG. The cable from a junction box to the receptacle shall be 4/C, #2AWG, Type W.

42. Drawing MA-09AA Section 2, indicates the repairs required to the existing fender system. MA-01AA provides the limits of fender modifications. Please advise / clarify in the 1" dia SS bolt spacing for the fender system.

Response: Varies; Typical spacing is 13'-4". Refer to Reference Specifications, Item 4.



Alabama State Port Authority Specification Booklet

Project Name Pier B South Replacement

Location Mobile, AL

Project # 11283 Task # 02 September 2025 1 | P a g e

BASE BID SCHEDULE OF PRICES- Addendum No. 02

Desc	ription	Est. Quantity	Unit	Unit Price	Value
1. F	Project bonds and insurance & port credentials	1	LS	\$	\$
2. N	Mobilization/demobilization	1	LS	\$	\$
3. E	Environmental protection measures	1	LS	\$	\$
4. F	Pre- & post-construction survey (above water)	1	LS	\$	\$
	Testing and monitoring (Include cathodic protection ready testing)	1	LS	\$	\$
6. 0	Construction MOT/barriers/fencing	1	LS	\$	\$
þ	Demolition, removal, and disposal of existing pier, fender system, and ancillary items including ncidental debris deposited underwater	1	LS	\$	\$
	Pre- and Post-demolition underwater debris conar survey (pier length by pier width+10 ft)	1	LS	\$	\$
9. l	Underwater existing debris removal (allowance)	5	DAY	\$	\$
10. l	Underwater existing debris disposal (allowance)	350	CY	\$	\$
11. 2	24" sq. prestressed concrete piling (straight)	86048	LF	\$	\$
12. 2	24" sq. prestressed concrete piling (battered)	19596	LF	\$	\$
13. 0	CIP concrete pile caps	2591	CY	\$	\$
14. 0	CIP concrete beams	3953	CY	\$	\$
15. C	CIP concrete deck	7120	CY	\$	\$
16. 0	CIP concrete bull rail	46	CY	\$	\$
17. 0	Cone fenders	<i>></i> 19 <i>></i>	EA	\$	\$
18. L	JMHW fender strips	(28)	EA	\$	\$
19. N	Mooring bollards	23	EA	\$	\$
20. L	Jtility vaults (power supply not included)	5	EA	\$	\$
21. V	Water vaults (water supply not included)	3	EA	\$	\$
22. L	Jtilities to vaults (1 power/ 3 fire+water)	1	LS	\$	\$
23. E	levated rail	1460	LF	\$	\$
24. F	Removable slab (Include stem wall)	60	CY	\$	\$



Alabama State Port Authority Specification Booklet

Project Name Pier B South Replacement

Location Mobile, AL

Project #	11283	Task # 02	September 2025	2 Page
-----------	-------	------------------	----------------	-----------------

		•	Total Base Bid	\$
40. Asphalt pavement	800	SY	\$	\$
39. Landside rail with tie-in to existing rail	230	LF	\$	\$
38. Approach slab	48	CY	\$	\$
37. Excavation/fill behind existing sheet pile wall	264	CY	\$	\$
36. Demolition of existing landside rail, asphalt and selective demolition of cap/sheet piles at Bent 1	1	LS	\$	\$
35. Traffic protection bollards	31	EA	\$	\$
34. Flashing at existing MCC building & warehouse	48	LF	\$	\$
33. Utilities to restroom (plumbing and electrical)	1	LS	\$	\$
32. Restroom building	560	SF	\$	\$
31. Existing warehouse concrete repairs (see S-03)	1	LS	\$	\$
30. CIP concrete slab	2645	CY	\$	\$
29. 14" dia. augercast piles	90084	LF	\$	\$
28. Select fill for voids under relieving platform	2908	CY	\$	\$
27. Concrete cap on existing sheet pile wall	132	CY	\$	\$
26. Demolition and removal of existing relieving platform slab	1	LS	\$	\$
25. Striping & stenciling for removable slab	1	LS	\$	\$

ADD ALTERNATE SCHEDULE OF PRICES

1. Pre- & post-construction survey (below water)	1	LS	\$	\$
		Total A	dd Alternate	\$

	Dollars
(In Words)	

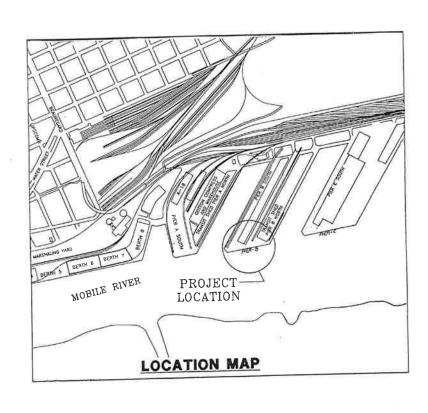
MOTT MACDONALD



APPENDIX E
EXISTING DRAWINGS
SUPPLEMENT

ALABAMA STATE DOCKS DEPARTMENT MOBILE, ALABAMA

PIER B RIVEREND FENDER REPLACEMENT

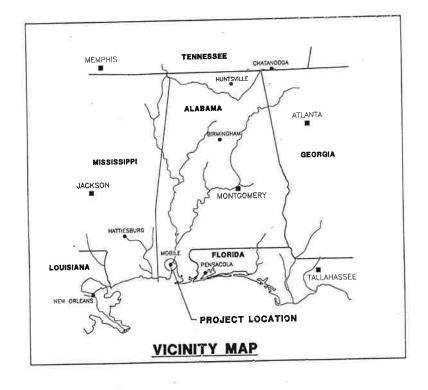


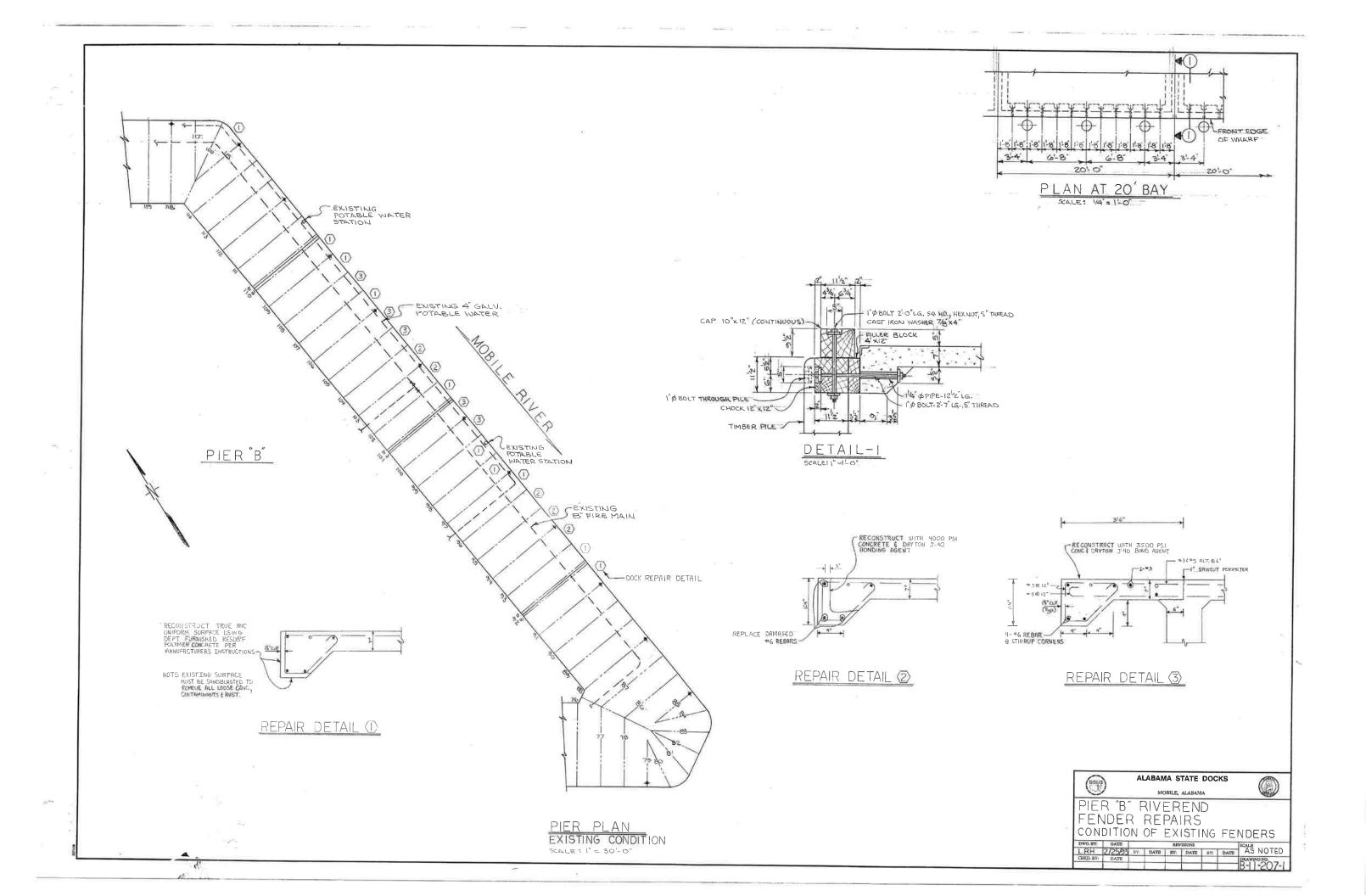


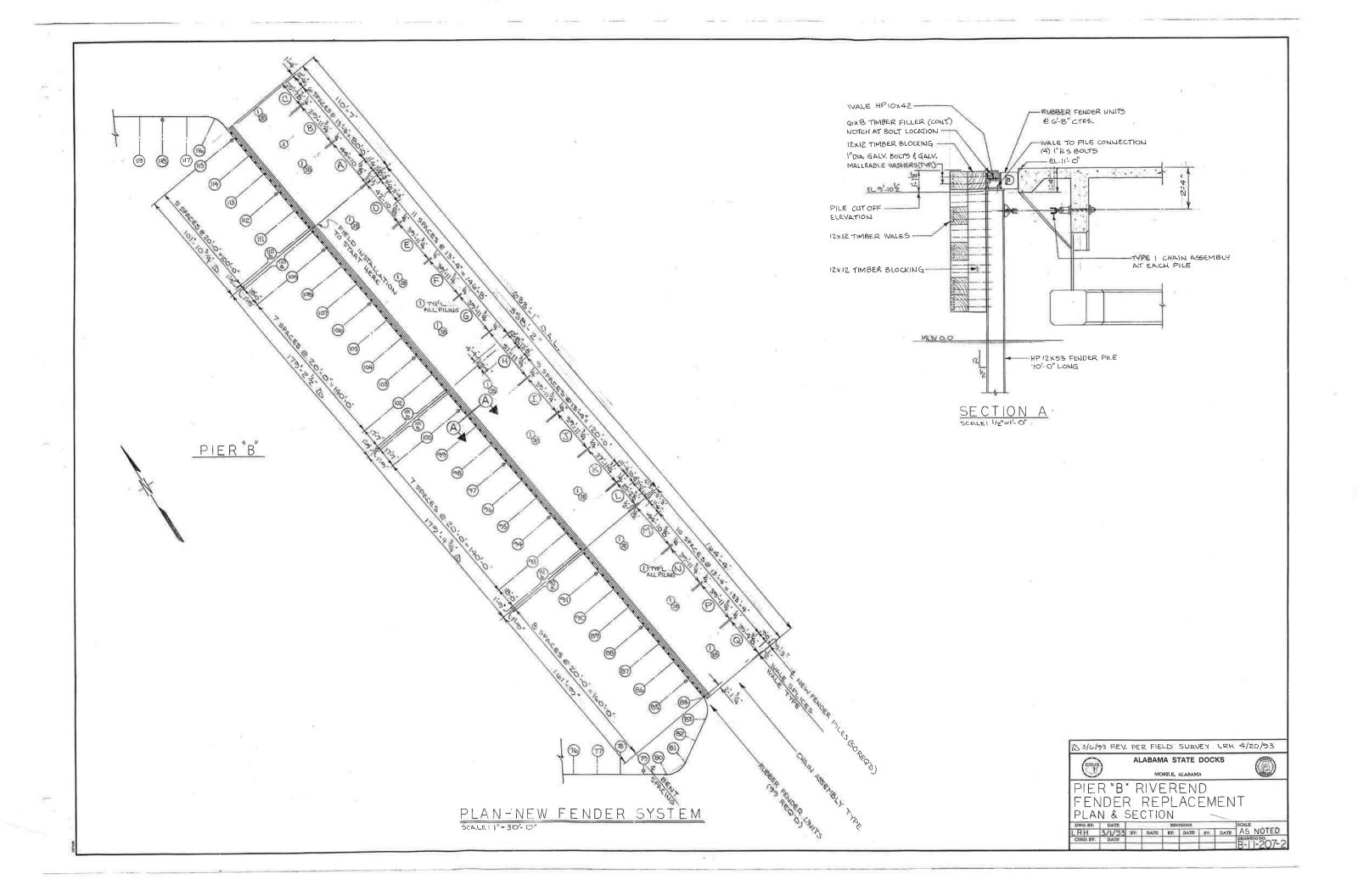
A.F.E. NO.: 1886 ASD SPEC. NO.: 557 APRIL 1993

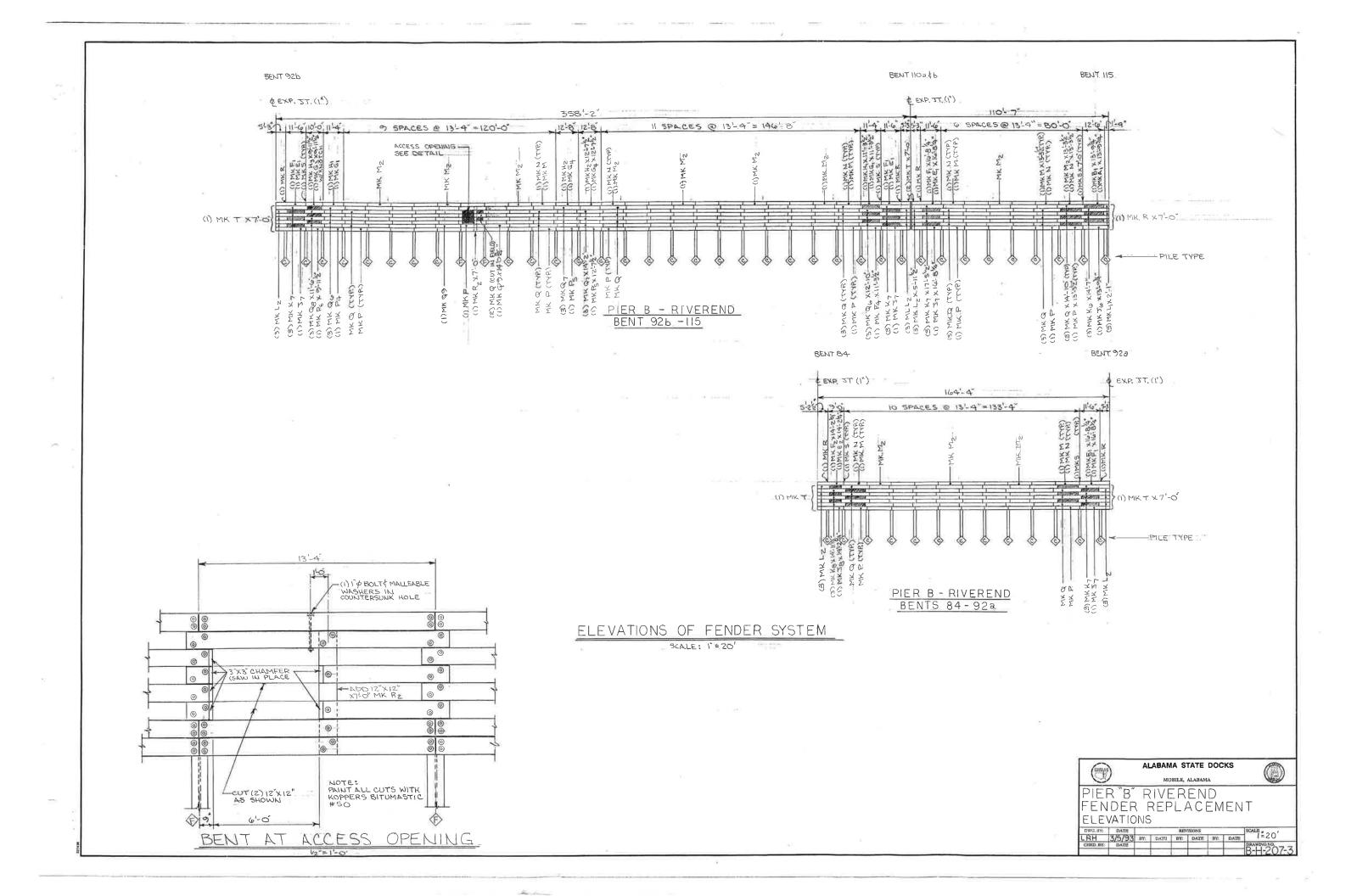
GUY HUNT, GOVERNOR JOHN B. DUTTON, DIRECTOR

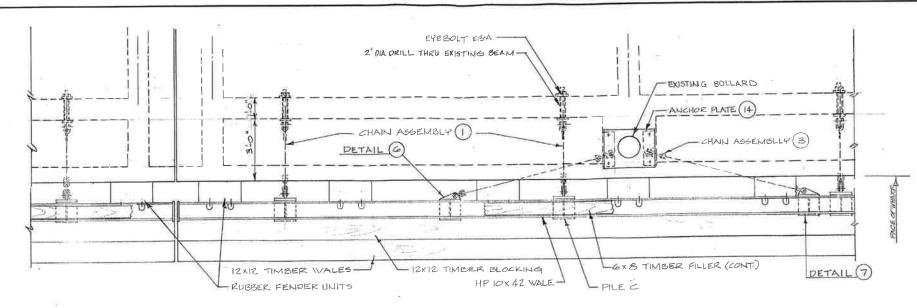
DRAWING NO.	DRAWING TITLE
B-11-207-TS	TITLE SHEET
B-11-207-1	CONDITION OF EXISTING FENDERS
8 -11-207-2	PEAN & SECTIONS
9-11-207-3	ELEVATIONS
8-11-207-4	TYPICAL PLAN & ELEVATION
B-11-207-5	WALE BEAKS
8-11-207-6	WALE BEAKS
8-11-207-7	WALE PILES & CHAIN ASSEMBLIES
8-11-207-8	CHAIN ASSEMBLY & DETAILS
8-11-207-9	TIMBERS
B-11-gg/ -10	TIMBERS
8-11-207-11	HATER LINE REPAIRS PLAN A SECTIONS



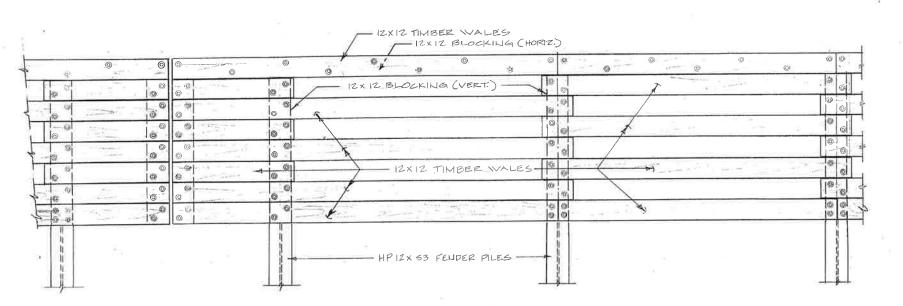




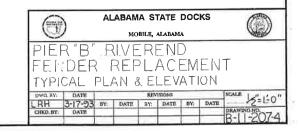


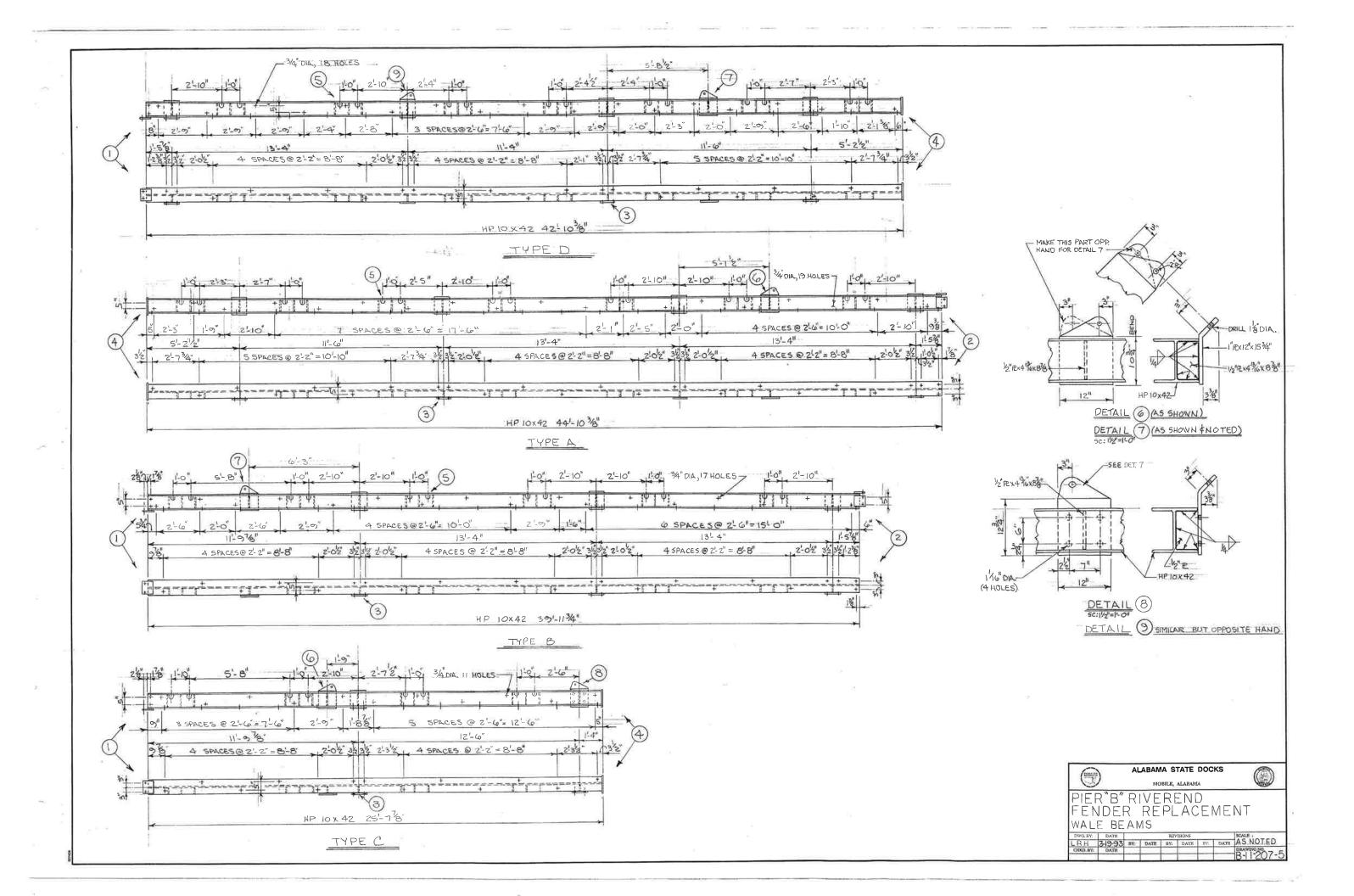


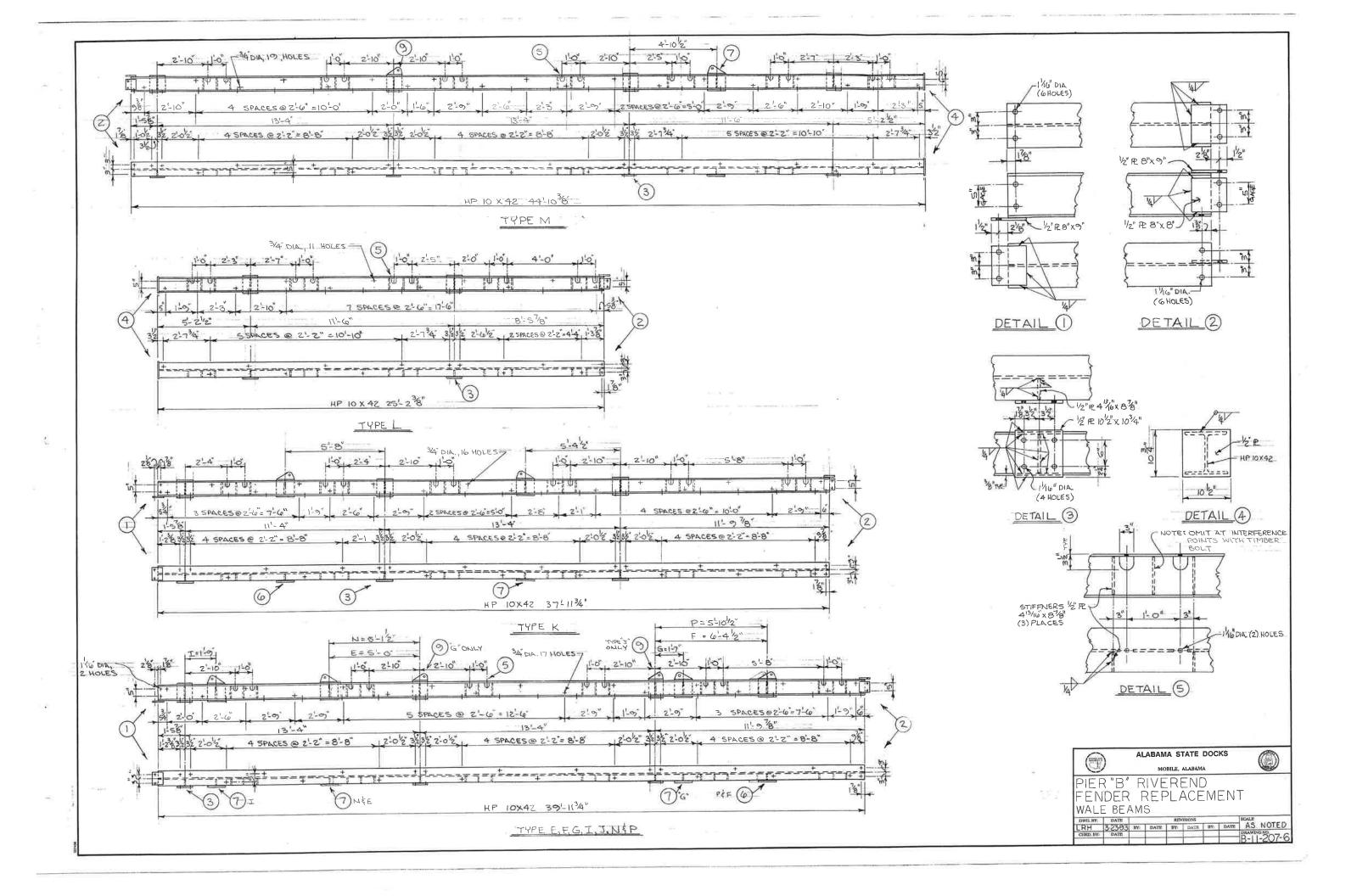
TYPICAL PLAN

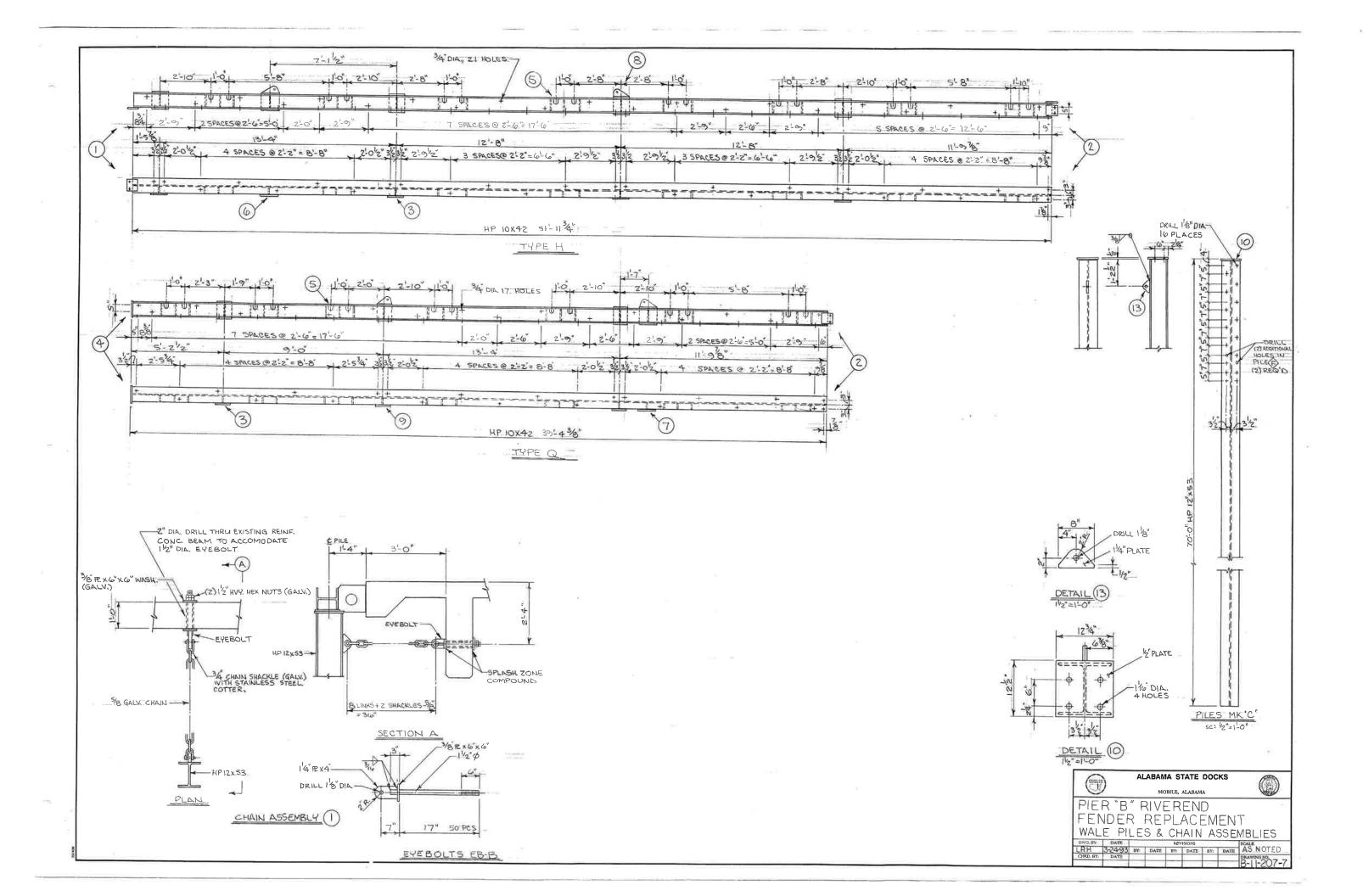


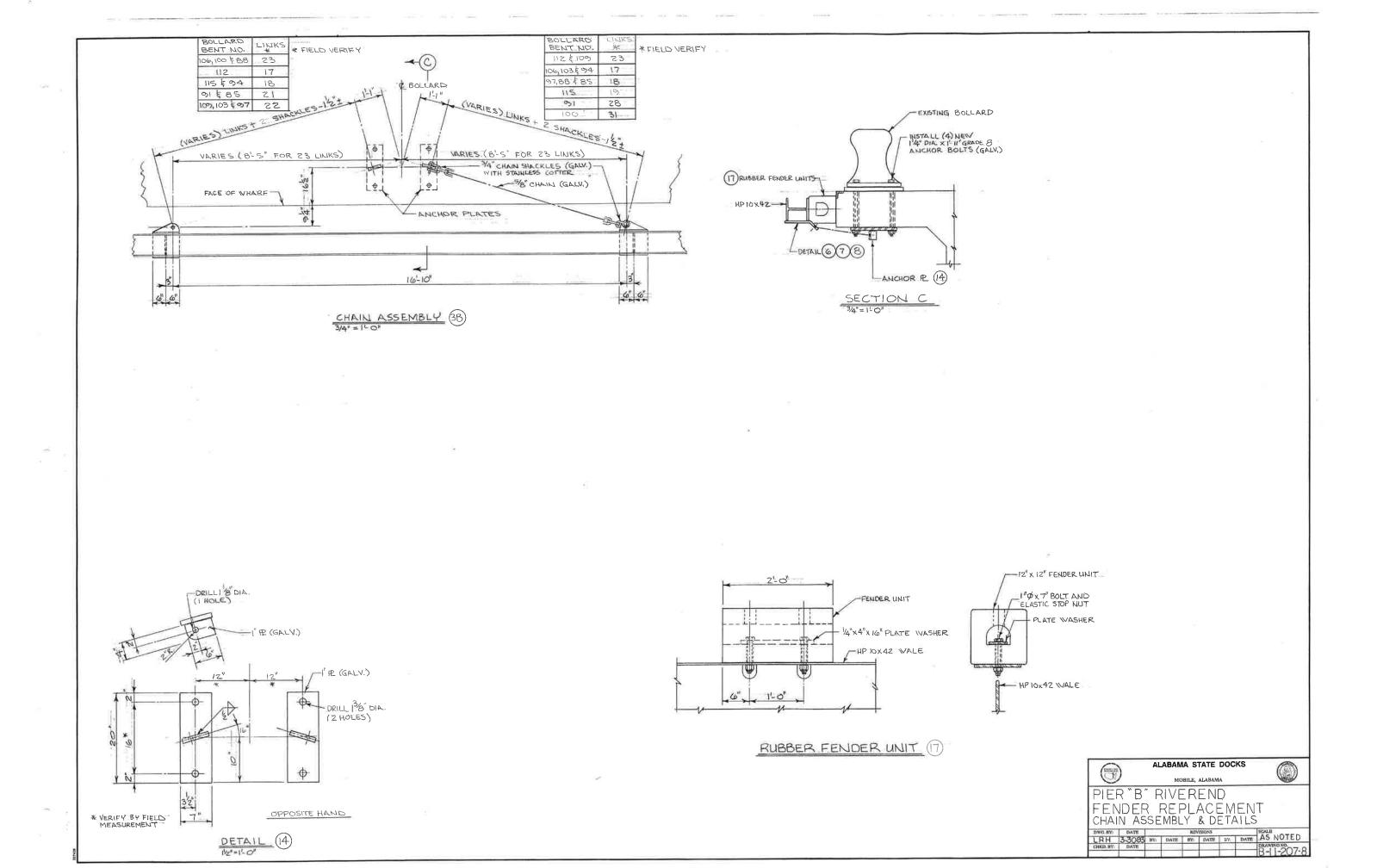
TYPICAL ELEVATION

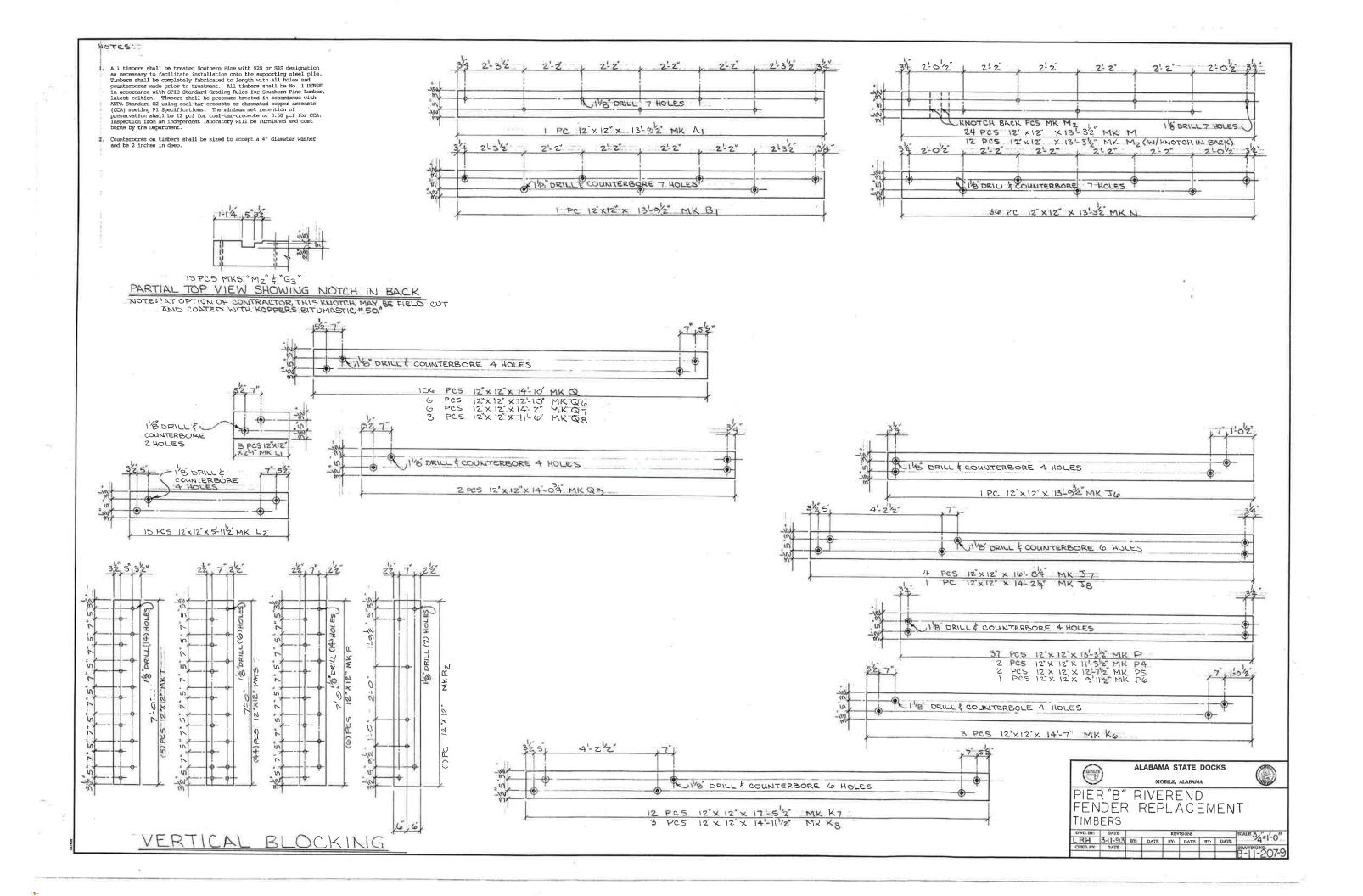














NOTES:

- 1. All timbers shall be treated Southern Pine with S2S or S4S designation as necessary to facilitate installation onto the supporting steel pile. Timbers shall be completely fabricated to length with all holes and counterbrose made prior to treatment. All timbers shall be No. 1 DEMSE in accordance with SFIB Standard Grading Rules for Southern Pine Lamber, latest edition. Timbers shall be pressure treated in accordance with iMPA Standard C2 using coal-tar-creosote or chromated copper exsenste (CCA) meeting P1 Specifications. The minimum met retention of preservation shall be 12 pcf for coal-tar-creosote or 0.60 pcf for CCA. Inspection from an Independent laboratory will be furnished and cost borne by the Department.
- Counterbores on timbers shall be sized to accept a 4" diameter washer and be 2 inches in deep.



ALABAMA STATE DOCKS

MOBILE, ALABAMA



